

**FOR SALE**



**\$1,400,000 + GST**

## 100 LE GRANDE AVENUE, ORANA



### DEVELOPMENT SITE CLOSE TO AMENITIES

- 2.81ha vacant residential development land
- Potential for subdivision
- Excellent location next to supermarket, eight mins from town
- Mostly cleared to facilitate site works, roads and services
- Potential for excellent profits in growing market for residential blocks

Land Size: 2.81 ha Council

Rates: \$4,223.19

**Jeremy Stewart**

0439 940 976

0898414022

[jeremy@merrifield.com.au](mailto:jeremy@merrifield.com.au)

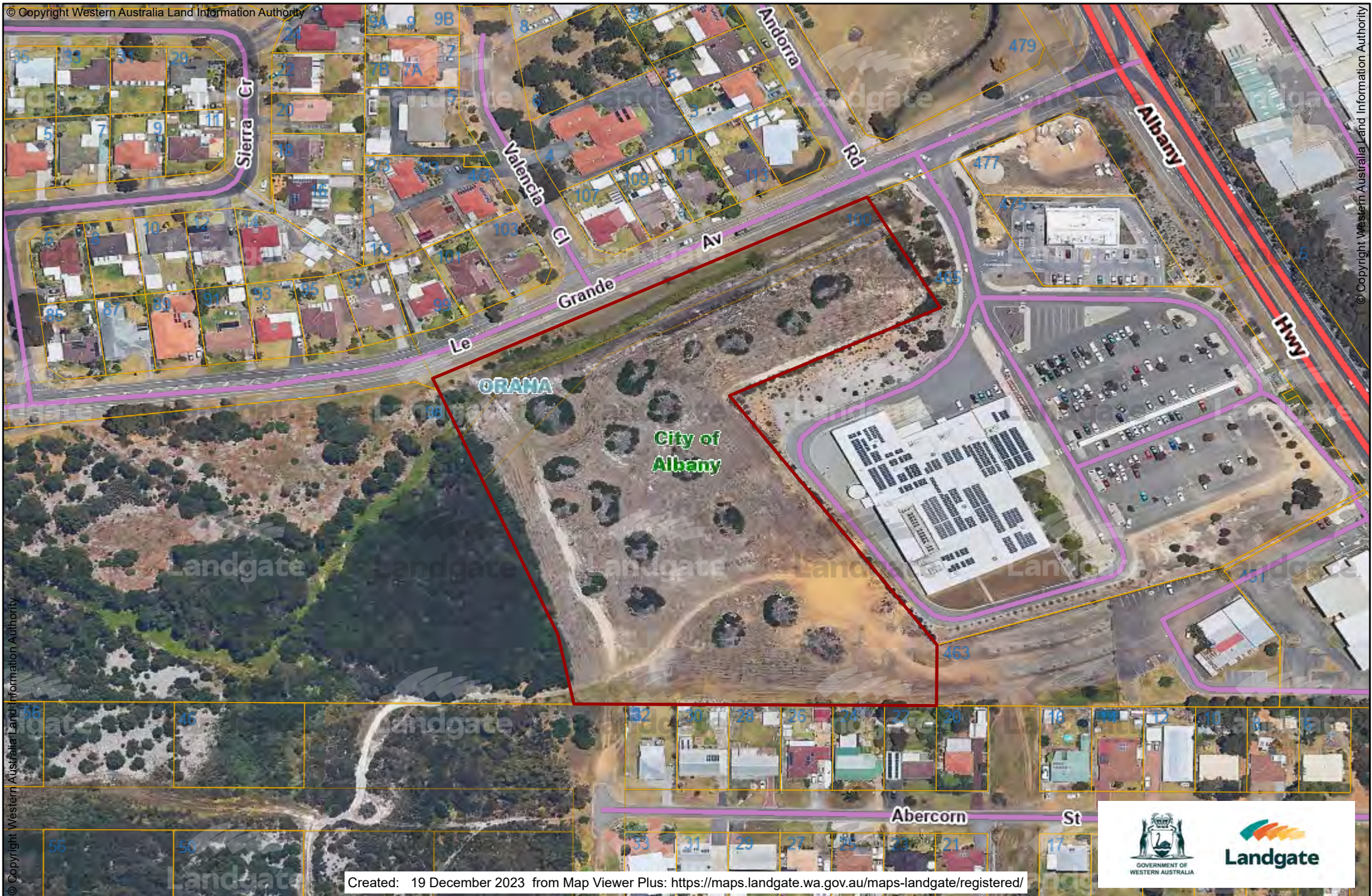


**Merrifield**  
REAL ESTATE

Disclaimer: All details on the brochure are presented on the vendor's advice. Prospective purchasers should take necessary actions on their own behalf to satisfy themselves of the details of conditions, contents, fixtures and improvements in regards to this property.  
Merrifield Real Estate Pty Ltd JR Stewart Trust T/A Merrifield Real Estate, 258 York Street, Albany WA 6330

# 100 LE GRANDE AVENUE, ORANA





Created: 19 December 2023 from Map Viewer Plus: <https://maps.landgate.wa.gov.au/maps-landgate/registered/>



WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

2547 388

**RECORD OF CERTIFICATE OF TITLE**  
UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

*BGRoberts*  
REGISTRAR OF TITLES



**LAND DESCRIPTION:**

LOT 402 ON DEPOSITED PLAN 37217

**REGISTERED PROPRIETOR:**  
(FIRST SCHEDULE)

BLACKWATTLE HOLDINGS PTY LTD OF 25 STOTT WAY, DUNCRAIG

(T K032276) REGISTERED 20/12/2006

**LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:**  
(SECOND SCHEDULE)

1. B448884 EASEMENT TO MINISTER OF WATER SUPPLY SEWERAGE AND DRAINAGE. SEE DEPOSITED PLAN 37217. REGISTERED 13/12/1977.
2. EASEMENT BURDEN CREATED UNDER SECTION 167 P. & D. ACT FOR DRAINAGE PURPOSES TO LOCAL AUTHORITY - SEE DEPOSITED PLAN 37217.
3. EASEMENT BURDEN CREATED UNDER SECTION 167 P. & D. ACT FOR WATER, SEWERAGE OR DRAINAGE PURPOSES TO WATER CORPORATION SEE DEPOSITED PLAN 37217.
4. EASEMENT BURDEN - SEE DEPOSITED PLAN 37217.
5. N891883 EASEMENT BENEFIT FOR RIGHT OF CARRIAGEWAY PURPOSES - SEE DEPOSITED PLAN 405159 REGISTERED 8/5/2018.
6. N891884 EASEMENT BENEFIT FOR RIGHT OF CARRIAGEWAY PURPOSES - SEE DEPOSITED PLAN 405159 REGISTERED 8/5/2018.
7. N891885 EASEMENT BENEFIT FOR RIGHT OF CARRIAGEWAY PURPOSES - SEE DEPOSITED PLAN 405159 REGISTERED 8/5/2018.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

**STATEMENTS:**

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: DP37217  
PREVIOUS TITLE: 2106-286  
PROPERTY STREET ADDRESS: 100 LE GRANDE AV, ORANA.

END OF PAGE 1 - CONTINUED OVER

RECORD OF CERTIFICATE OF TITLE

REGISTER NUMBER: 402/DP37217

VOLUME/FOLIO: 2547-388

PAGE 2

LOCAL GOVERNMENT AUTHORITY: CITY OF ALBANY

# Deposited Plan 37217

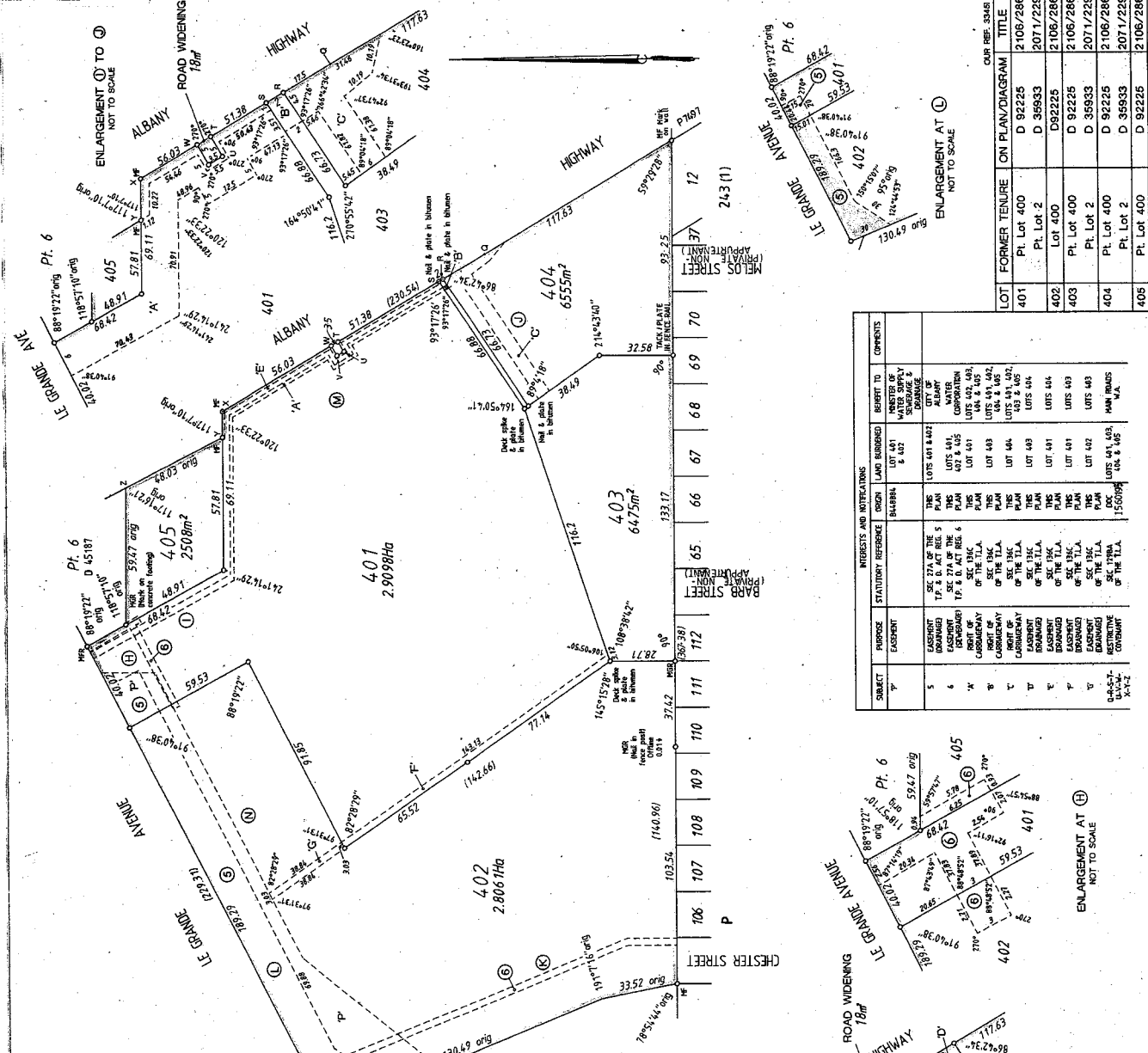
<b>Lot</b>	<b>Certificate of Title</b>	<b>Lot Status</b>	<b>Part Lot</b>
401	2547/387	Registered	
402	2547/388	Registered	
403	2547/389	Registered	
404	2547/390	Registered	
405	2547/391	Registered	
0	N/A	Registered	

TYPE: FREEHOLD  
 SUBDIVISION: LOTS 401, 402, 403, 404, 405, EASEMENTS, RESTRICTIVE COVENANT AND ROAD WIDENING.

APPROVED: 28.7.03  
 DEPOSITED PLAN: 37217

INSPECTOR OF PLANS & SURVEYS/AUTHORIZED LAND OFFICER: [Signature]  
 APPROVED: 16/9/03

DATE: 13 June 2003



1/2	Amended distances to Enlargement	PD	5.6.03
-----	----------------------------------	----	--------

DISTRICT	TOWNSHIP	SSA REFERENCE
PLANTAGENET	CITY OF ALBANY	SEE TABLE
LOCAL AUTHORITY	LOCALITY	FIELD BOOK
CITY OF ALBANY	ORAMA	81201
8926.00.00.08		89668
SCALE	ALL DISTANCES	ARE IN METRES
1:1250		

29/07/03	John Kinnear & Associates	29/07/03
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SUBJECT	PHORSE	INTERESTS AND INTERACTIONS	ORIGIN	LAND BOUNDARY	BENEFIT TO	COMMENTS
5	EASEMENT	DRAINAGE	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
6	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
7	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
8	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
9	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
10	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
11	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
12	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
13	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
14	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT
15	EASEMENT	RIGHT OF WAY	17 & 18 ACT	LOTS 401 & 402	MINISTER OF WATER SUPPLY	DRAINAGE & EASEMENT



JOHN KINNEAR & ASSOCIATES  
 Consulting Surveyors  
 61 WALKER STREET  
 ALBANY WA 6331  
 PHONE 080 8842 1353 FAX 080 8842 1570  
 AUST. REG. NO. 260 251

WESTERN AUSTRALIAN STAMP DUTIES

Exempt (Section 113) Stamp Act 1921

for COMMISSIONER OF LAND REVENUE  
L-76 210648 \$ . . . G WPLST \$\*\*\*0.00

B 448884



THIS DEED OF EASEMENT is made the 17<sup>th</sup> day of December One thousand nine hundred and seventy six BETWEEN HELMUT WERNER Pastry Cook and JANINA WERNER his Wife both of 62 Stead Road Albany in the State of Western Australia (hereinafter together called "the Grantors" which expression shall mean and include each of them the survivor of them and such survivors and successors in title) of the one part and THE MINISTER OF WATER SUPPLY SEWERAGE DRAINAGE a body corporate constituted by the provisions of the Water Supply Sewerage and Drainage Act 1912 as amended having his office situate at the corner of Havelock Street and Kings Park Road West Perth in the said State (hereinafter called "the Minister" which expression shall mean and include the Minister and his successors in title) of the other part.

WHEREAS the Grantors are registered or entitled to be registered as the proprietors of an estate in fee simple in ALL THAT piece of land being

Portion of Plantagenet Location 222 and being in Diagram 44768  
 Lot 269 and being formerly parts of the land comprised in Certificate of Title Volume 129 Folio 121A and Volume 1372 Folio 206 now being

*Spencer  
Lloyd  
Perth*



the whole of the land comprised in Certificate of  
Title Volume 1489 Folio 909 .

AND WHEREAS the Grantors have agreed to grant to the  
Minister in perpetuity the full license or authority to  
maintain a drain on or over portion of the said land  
(with powers incidental thereto) as hereinafter provided.  
NOW THIS DEED WITNESSETH:

1. In consideration of ONE DOLLAR (\$1.00) paid to  
the Grantors by the Minister (the receipt whereof is  
hereby acknowledged) the Grantors HEREBY GRANT unto the  
Minister in perpetuity the full license or authority to  
maintain a drain on or over the land and along the course  
marked and coloured blue and marked "Easement" on the map  
in the Schedule hereto for the purpose of permitting the  
free flow of water along the same.
2. The Grantors further HEREBY GRANT unto the Minister  
in perpetuity the full license or authority to enter upon and  
pass over the said land marked drain on the said map (or his  
agents engineers servants workmen and others and with or  
without horses carts wagons motor or other vehicles and  
plant) as may be reasonably necessary for the purpose of  
constructing re-constructing re-newing and inspecting  
maintaining the said drain and of conveying all necessary  
material thereto and thereupon to carry out such works and  
to permit any soil or other matter excavated or taken from  
the said drain to be placed and kept upon any part of the

Page 3.

said land marked "drain" on the said map.

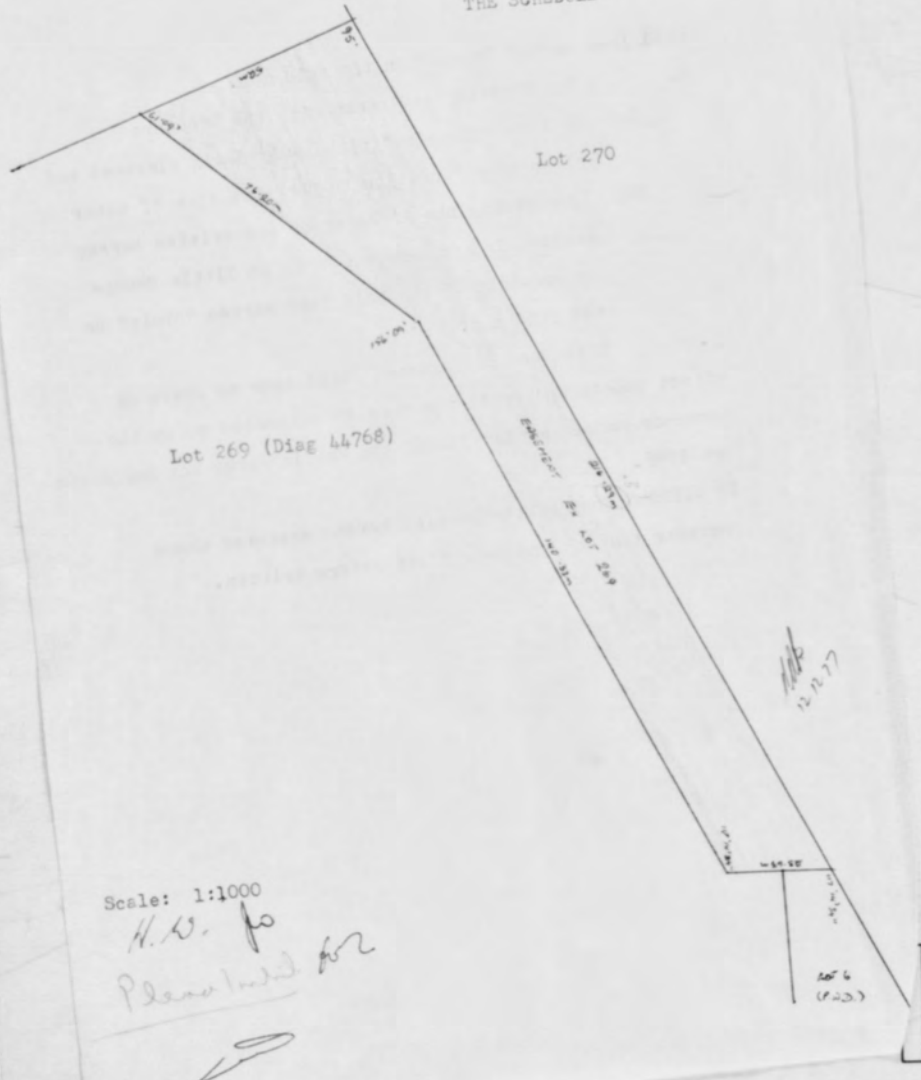
3. The Minister covenants with the Grantors

- (a) To keep and maintain the said drain cleansed and clear of obstruction to the free flow of water
- (b) To exercise the licenses or authorities hereby granted in such manner as to do little damage as possible to the said land marked "drain" on the said map.

4. This Deed of Easement shall have no force or effect unless and until the same is consented to by the Governor under Section 33A of the Public Works Act Amendment Act 1956.

IN WITNESS whereof the parties hereto executed these presents the day and year first before written.

THE SCHEDULE



Lot 269 (Diag 44768)

Lot 270

Scale: 1:1000

H.V. fo  
Planned for  
*[Signature]*

11/12  
12/12/77

207.6  
(P.S.)

SIGNED by the said  
HELMUT WEBER

x *A. Weber*

in the presence of:

*W. H. ...  
R. ...  
Oct 7 ...*

SIGNED by the said  
JANINA WEBER

x *Janina Weber*

in the presence of:

*W. H. ...  
R. ...  
Oct 7 ...*

The COMMON SEAL of the  
MINISTER OF WATER SUPPLY  
SEWERAGE AND DRAINAGE  
was hereunto affixed by:

the Minister of Water Supply  
Sewerage and Drainage for  
the time being in the  
presence of:

*[Signature]*

*[Signature]*

JANINA WEBER  
PUBLIC WORKS DEPT.

8448884

Dated 1976.

(7)

H. & J. WEBER

\$18

"Grantors"

- and -

THE MINISTER OF WATER SUPPLY  
SEWERAGE AND DRAINAGE

1977 DEC 13 PM 3:25  
"Minister"

DEED OF EASEMENT

(8) 11

REGISTERED 3 25  
13 DAY December 77

*Yumbrough*  
Registrar of Titles

*2dip deeds/easement  
Northgate Hale Owy &  
Lake  
Law Chambers Perth*

HUDSON, MENNING & GOODMAN  
SOLICITORS  
ALBANY

(M:JM)

**INSTRUCTIONS**

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
2. If insufficient space hereon Additional Sheet Form B1 should be used.
3. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

**NOTES**

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The full name, address and occupation of the witness must be stated. Execution by a corporation or body corporate must be in accordance with the *Corporation Act*.

EXAMINED

**N891883 E**

08 May 2018 15:09:47 Perth



LODGED BY

ADDRESS **Herbert Smith Freehills  
QV.1 Building  
250 St Georges Terrace  
PERTH WA 6000**

PHONE No. **Tel: 9211 7777**

FAX No. **Fax: 9211 7878**

**LTO Box 116D Perth**

REFERENCE No.

ISSUING BOX No.

PREPARED BY Herbert Smith Freehills

ADDRESS Level 36  
QV1 Building  
250 St Georges Terrace  
PERTH WA 6000

PHONE No. (08) 9211 7777

FAX No. (08) 9211 7878

Reference No. FAP/CK: 82282884

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

4/6

TITLES, LEASES, DECLARATIONS ETC LODGED HEREWITH

1. <u>0/1 2547/388</u>	Received Items
2. _____	Nos.
3. _____	
4. _____	
5. _____	
6. _____	Receiving Clerk

Registered pursuant to the provisions of the *TRANSFER OF LAND ACT 1893* as amended on the day and time shown above and particulars entered in the Register.

66385329

**Executed as a deed:**

Dated the 21 day of Dec 2017

Signed for  
**Orana Holdings Pty Ltd** ACN 008 847 247  
by

print name RONALD MARK SIEMIGINOWSKI

sign here ►   
as director and authorised signatory

66385329

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58880947



### Consent to Easement A on Deposited Plan 405159

Registrar of Titles  
Department of Land Information

Dear Sir

**Water Corporation** (ABN 28 003 434 917), a body corporate established under the Water Corporation Act 1995 (WA), being a person with a registered interest in:

- Lot 401 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 387;
  - Lot 402 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 388; and
  - Lot 405 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 391,
- by virtue of having the benefit of:

1. an easement created under section 167 of the *Planning and Development Act 2005* or section 27A of the *Town Planning and Development Act 1928* for water, sewerage or drainage purposes; and
2. registered easement B448884 (formerly in favour of the Minister of Water Supply, Sewerage and Drainage),

hereby consents to the creation of the easement marked 'A' on Deposited Plan 405159 and to this consent being inserted into the relevant registration version of the 'Landgate Form B2':

Dated the 24th day of JANUARY 2017

Signed by **David Paul Juers**  
the **Manager, Procurement and Property of Water Corporation (a Level 1 Attorney)**  
and by **Domenico Papalia** the  
**Manager, Property Acquisitions of Water Corporation (a Level 1 Attorney)**  
as the attorneys for Water Corporation who state that they have no notice of revocation of the **Power of Attorney No M15043** dated 19 November 2012 under which they sign

sign here ▶

Attorney

print name

David Paul Juers

Manager, Procurement and Property of Water Corporation

Designated Post

in the presence of

sign here ▶

Witness

print name

LEZANNE COOK

address

629 NEWCASTLE STREET  
LEEDERVILLE WA 6007

occupation

Acquisitions Support officer

Attorney

Domenico Papalia

Manager, Property Acquisitions of Water Corporation

Designated Post

Witness

LEZANNE COOK

629 NEWCASTLE STREET  
LEEDERVILLE WA 6007

Acquisitions Support officer

58880947

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### Consent to Easement A on Deposited Plan 405159

Registrar of Titles  
Department of Land Information

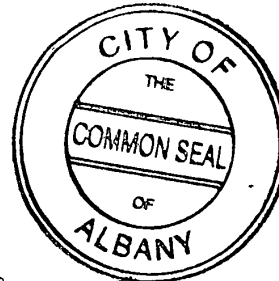
Dear Sir

**City of Albany**, being a person with a registered interest in:

- Lot 401 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 387; and
  - Lot 402 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 388,
- by virtue of having the benefit of an easement created under section 167 of the *Planning and Development Act 2005* for drainage purposes, hereby consents to the creation of the easement marked 'A' on Deposited Plan 405159 and to this consent being inserted into the relevant registration version of the 'Landgate Form B2':

Dated the 10 day of January 2017.

The Common Seal of City of Albany was )  
hereunto affixed in the presence of: )



Greg Stocks  
SIGNATURE - MAYOR

GREG STOCKS  
(Print Full Name)

[Signature]  
SIGNATURE - CHIEF EXECUTIVE OFFICER

Andrew Shorpe  
(Print Full Name)

58880947

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66385329

**Executed as a deed:**

Dated the 17 day of November 2017

Signed by **Edward Peter Mastalerz**

in the presence of

Signature of Witness

Signature - Edward Peter Mastalerz

Name of Witness (print)  
**DAWON BRYCE SEYMOUR**  
**LEGAL PRACTITIONER**

Address of Witness (print)  
**77 ALBANY HIGHWAY**  
**ALBANY WA 6330**  
**PH: (08) 9842 1776**

Occupation of Witness (print)

66385329

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41852260

**Executed as a deed:**

Dated the 23<sup>rd</sup> day of June 2015.

Executed by  
**Blackwattle Holdings Pty Ltd** ACN 119818236  
in accordance with section 127 of the  
Corporations Act 2001 (Cth)  
by

sign here ► *[Signature]*  
SOLE Company Secretary ~~Director~~ AND SOLE DIRECTOR  
print name COLIN JOHN DWYER

sign here ► \_\_\_\_\_  
Director  
print name \_\_\_\_\_

41852260

Clara A. Attorney  
I am a Director  
of the Board

Clara A. Attorney  
I am a Director  
of the Board

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Clara A. Attorney  
I am a Director  
of the Board

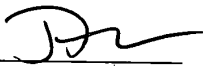
Clara A. Attorney  
I am a Director  
of the Board

66385329



**Executed as a deed:**Dated the 28 day of February 2018.


Executed by **Coles Group Property Developments Limited** ACN 004 428 326 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

  
 Signature of Witness  
**JOEL BURESTNER**

Name of Witness (print) **800 Toorak Road  
Hawthorn East Victoria 3123**


Address of Witness (print) **An Australian legal practitioner  
within the meaning of the**

Occupation of Witness (print) **Legal Profession Uniform Law (Victoria)**

  
 Attorney

Name of Attorney (print) **David Andrew Brewster  
Legal Director  
Class A Attorney**


Executed by **Andearp Pty Ltd** ACN 126 637 232 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

  
 Signature of Witness  
**JOEL BURESTNER**

Name of Witness (print) **800 Toorak Road  
Hawthorn East Victoria 3123**

Address of Witness (print) **An Australian legal practitioner  
within the meaning of the**

Occupation of Witness (print) **Legal Profession Uniform Law (Victoria)**

  
 Attorney

Name of Attorney (print) **David Andrew Brewster  
Legal Director  
Class A Attorney**

66385329

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68533891

- (f) not and will ensure that its invitees do not do any act, matter or thing on the Easement Area which would constitute a nuisance or fire hazard or which could cause injury or damage to any person; and
- (g) not and will ensure that its invitees do not loiter on the Easement Area or obstruct the Easement Area or allow any vehicle to park or stand on the Easement Area.

### 3.2 Rights

The right of any party to exercise the rights contained in this deed extends to that party's invitees.

## 4 Encumbrances

The Owner Lot is subject to the Specified Encumbrances.

## 5 Notices

Any notice, or other communication given under this deed:

- (a) must be in writing and delivered or sent to:
  - (1) the address of the relevant lot; or
  - (2) the address of the owner of the relevant lot as shown on the Certificate of Title for that relevant lot, or to any other address specified by any party to the sender by notice;
- (b) must be signed by the sender or an attorney, a director or secretary of the sender or by a solicitor on behalf of the sender; and
- (c) will be treated as having been given by the sender and received by or served on the addressee:
  - (1) if by delivery in person - when delivered to the addressee; and
  - (2) if by registered post - on the day which is the third day (excluding weekends and public holidays) after the date of posting.

## Schedule - Limitations, interests, encumbrances and notifications

1. Easement B448884
2. Restrictive Covenant I560195
3. Easement burden created under section 167 P&D Act for drainage purposes – see Deposited Plan 37217
4. Easement burden created under section 167 P&D Act for water, sewage or drainage purposes – see Deposited Plan 37217
5. Easement benefit created under section 136C TLA for right of carriageway – see Deposited Plan 37217
6. Easement burden created under section 136C TLA for right of carriageway – see Deposited Plan 37217
7. Easement burden created under section 136C TLA for drainage purposes – see Deposited Plan 37217
8. Easement burden J160851
9. Easement burden J160852

68533891

**User Lot means:**

- (a) Lot 402 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 388 (of which Blackwattle Holdings Pty Ltd is the registered proprietor);
- (b) Lot 403 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 389 (of which Edward Peter Mastalerz is the registered proprietor);
- (c) Lot 404 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 390 (of which Orana Holdings Pty Ltd is the registered proprietor); and
- (d) Lot 405 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 391 (of which Andearp Pty Ltd is the registered proprietor).

**2 Easement**

- (a) The Owner creates, in favour of the User Lot and the registered proprietors from time to time of the User Lot, the right to enter on and to go pass and repass at all times in motor vehicles, other carriages or on foot over and along the Easement Area or any part thereof for the purpose of obtaining access or egress from the User Lot over the Easement Area (**Rights**).
- (b) For the avoidance of doubt:
  - (1) The User Lot is entitled to the benefit of the Rights over the Easement Area; and
  - (2) The Easement Area is subject to the burden of the Rights.

**3 Obligations and Rights****3.1 User's Obligations**

The owner of the User Lot must:

- (a) not use and will ensure that its invitees do not use the Easement Area for any purpose other than as specified in this deed;
- (b) not permit or cause and will ensure that its invitees do not permit or cause any rubbish, refuse, petrol, diesel or oil or other lubricants to be dropped or placed on the Easement Area;
- (c) comply with and will ensure that its invitees comply with all statutes, ordinances, proclamations, orders and regulations, present or future affecting or relating to the use of the Easement Area pursuant to this deed and all requirements which may be made or notices or orders which may be given by any governmental, semi-governmental, city, municipal, health licensing or other authority in respect thereof;
- (d) not permit or cause and will ensure that its invitees do not permit or cause any damage to the Easement Area;
- (e) not and will ensure that its invitees do not enter any part of the Owner Lot not comprised in the Easement Area;

68533891

FORM B2

Form Approval No: B1134

WESTERN AUSTRALIA

TRANSFER OF LAND ACT 1893 AS AMENDED

Date

**BLANK INSTRUMENT FORM**

Easement Area A

(Note 1)

OFFICE OF  
11 APR 2018  
No Duty Payable J.P.  
STATE REVENUE WA

**This deed of easement**

is made on 28 February 2018

by:

1. **Blackwattle Holdings Pty Ltd**  
ACN 119 818 236 of 25 Stott Way, Duncraig, Western Australia;  
and  
**Edward Peter Mastalerz**  
of 19 Katoomba Street, Albany, Western Australia;  
and  
**Orana Holdings Pty Ltd**  
ACN 008 847 247 of 'Smith Thornton', Level 1, 234 Stirling Terrace,  
Albany, Western Australia;  
and  
**Andearp Pty Ltd**  
ACN 126 637 232 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria,  
(together, the **User**)
2. **Coles Group Property Developments Ltd**  
ACN 004 428 326 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria  
(**Owner**)

**Recitals**

- A. The Owner is the registered proprietor for the time being of the Owner Lot.
- B. The User is the registered proprietor for the time being of the User Lot.
- C. The Owner wishes to create an easement over the Owner Lot as shown on Deposited Plan 405159 in favour of the User Lot.

**The deed witnesses as follows****1 Definitions**

In this deed:

**Easement Area** means that part of the Owner Lot marked easement "A" on Deposited Plan 405159.**Owner Lot** means Lot 401 on Deposited Plan 37217 being the whole of the land in Certificate of Title Volume 2547 Folio 387.**Specified Encumbrances** means the limitations, interests, encumbrances and notifications set out in the schedule to this deed.

68533891.1

**INSTRUCTIONS**

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
2. If insufficient space hereon Additional Sheet Form B1 should be used.
3. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

**NOTES**

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The full name, address and occupation of the witness must be stated. Execution by a corporation or body corporate must be in accordance with the *Corporation Act*.

**N891884 E**  
08 May 2018 15:09:47 Perth



LOGGED BY

ADDRESS **Herbert Smith Freehills  
QV.1 Building  
250 St Georges Terrace  
PERTH WA 6000**

PHONE No. **Tel: 9211 7777**

FAX No. **Fax: 9211 7878**

REFERENCE No.

ISSUING BOX No.

PREPARED BY Herbert Smith Freehills

ADDRESS Level 36  
QV1 Building  
250 St Georges Terrace  
PERTH WA 6000

PHONE No. (08) 9211 7777


FAX No. (08) 9211 7878

Reference No. FAP/CK: 82282884

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

= 1/6

TITLES, LEASES, DECLARATIONS ETC LODGED HEREWITH

		Received Items
1.	_____	
2.	_____	Nos. <span style="border: 1px solid black; border-radius: 50%; padding: 2px;">0</span>
3.	_____	
4.	_____	
5.	_____	
6.	_____	Receiving Clerk 

Registered pursuant to the provisions of the *TRANSFER OF LAND ACT 1893* as amended on the day and time shown above and particulars entered in the Register.

EXAMINED

63441403

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63441403

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63441403

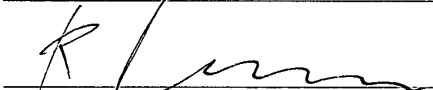


**Executed as a deed:**

Dated the 21 day of Dec 2017

Signed for  
**Orana Holdings Pty Ltd** ACN 008 847 247  
by

*print name* RONALD MARK SIEMIGINOWSKI

*sign here* ►   
as director and authorised signatory

63441403

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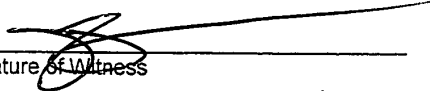
63441403

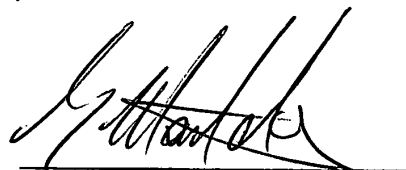
**Executed as a deed:**

Dated the 17 day of November 2017

Signed by Edward Peter Mastalerz

in the presence of:

  
Signature of Witness

  
Signature - Edward Peter Mastalerz

~~AMON BRYCE SEYMOUR~~  
Name of Witness (print)  
**LEGAL PRACTITIONER**  
77 ALBANY HIGHWAY  
ALBANY WA 6330  
Address of Witness (print) ~~PH (08) 9842 1776~~  
Occupation of Witness (print)

63441403



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41868990

**Executed as a deed:**

Dated the 23<sup>rd</sup> day of June 2015.

Executed by  
**Blackwattle Holdings Pty Ltd** ACN 119 818 236  
in accordance with section 127 of the  
Corporations Act 2001 (Cth)  
by

sign here ▶ *C. J. Dwyer*  
SOLE Company Secretary/Director AND SOLE DIRECTOR?  
print name COLIN JOHN DWYER

sign here ▶ \_\_\_\_\_  
Director  
print name \_\_\_\_\_

41868990

300 Tenth Road  
 Hawthorn East Victoria 3123  
 Australia  
 Tel: +61 3 9594 1000  
 Fax: +61 3 9594 1001  
 Email: [landgate@landgate.vic.gov.au](mailto:landgate@landgate.vic.gov.au)

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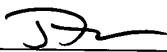
300 Tenth Road  
 Hawthorn East Victoria 3123  
 Australia  
 Tel: +61 3 9594 1000  
 Fax: +61 3 9594 1001  
 Email: [landgate@landgate.vic.gov.au](mailto:landgate@landgate.vic.gov.au)

63441403

**Executed as a deed:**

Dated the 28 day of February 2018.

Executed by **Coles Group Property Developments Limited** ACN 004 428 326 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

  
Signature of Witness

JOEL BURSTNER  
Name of Witness (print)

800 Toorak Road  
Hawthorn East Victoria 3123  
Address of Witness (print)

An Australian legal practitioner  
within the meaning of the  
Legal Profession Uniform Law (Victoria)  
Occupation of Witness (print)




Attorney

Name of Attorney (print)

**David Andrew Brewster  
Legal Director  
Class A Attorney**

Executed by **Andearp Pty Ltd** ACN 126 637 232 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

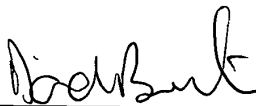
  
Signature of Witness

JOEL BURSTNER  
Name of Witness (print)

800 Toorak Road  
Hawthorn East Victoria 3123  
Address of Witness (print)

~~David Andrew Brewster~~  
~~Legal Director~~  
~~Class A Attorney~~  
Occupation of Witness (print)

An Australian legal practitioner  
within the meaning of the  
Legal Profession Uniform Law (Victoria)



Attorney

Name of Attorney (print)

**David Andrew Brewster  
Legal Director  
Class A Attorney**

63441403

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63441403



- any damage to the Easement Area;
- (e) not and will ensure that its invitees do not enter any part of the Owner Lot not comprised in the Easement Area;
  - (f) not and will ensure that its invitees do not do any act, matter or thing on the Easement Area which would constitute a nuisance or fire hazard or which could cause injury or damage to any person; and
  - (g) not and will ensure that its invitees do not loiter on the Easement Area or obstruct the Easement Area or allow any vehicle to park or stand on the Easement Area.

### 3.2 Rights

The right of any party to exercise the rights contained in this deed extends to that party's invitees.

## 4 Encumbrances

The Owner Lot is subject to the Specified Encumbrances.

## 5 Notices

Any notice, or other communication given under this deed:

- (a) must be in writing and delivered or sent to:
  - (1) the address of the relevant lot; or
  - (2) the address of the owner of the relevant lot as shown on the Certificate of Title for that relevant lot, or to any other address specified by any party to the sender by notice;
- (b) must be signed by the sender or an attorney, a director or secretary of the sender or by a solicitor on behalf of the sender; and
- (c) will be treated as having been given by the sender and received by or served on the addressee:
  - (1) if by delivery in person - when delivered to the addressee; and
  - (2) if by registered post - on the day which is the third day (excluding weekends and public holidays) after the date of posting.

## Schedule - Limitations, interests, encumbrances and notifications

Nil.

in Certificate of Title Volume 2547 Folio 389.

**Specified Encumbrances** means the limitations, interests, encumbrances and notifications set out in the schedule to this deed.

**User Lot** means:

- (a) Lot 401 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 387 (of which Coles Group Property Developments Ltd is the registered proprietor);
- (b) Lot 402 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 388 (of which Blackwattle Holdings Pty Ltd is the registered proprietor);
- (c) Lot 404 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 390 (of which Orana Holdings Pty Ltd is the registered proprietor); and
- (d) Lot 405 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 391 (of which Andearp Pty Ltd is the registered proprietor).

## 2 Easement

- (a) The Owner creates, in favour of the User Lot and the registered proprietors from time to time of the User Lot, the right to enter on and to go pass and repass at all times in motor vehicles, other carriages or on foot over and along the Easement Area or any part thereof for the purpose of obtaining access or egress from the User Lot over the Easement Area (**Rights**).
- (b) For the avoidance of doubt:
  - (1) The User Lot is entitled to the benefit of the Rights over the Easement Area; and
  - (2) The Easement Area is subject to the burden of the Rights.

## 3 Obligations and Rights

### 3.1 User's Obligations

The owner of the User Lot must:

- (a) not use and will ensure that its invitees do not use the Easement Area for any purpose other than as specified in this deed;
- (b) not permit or cause and will ensure that its invitees do not permit or cause any rubbish, refuse, petrol, diesel or oil or other lubricants to be dropped or placed on the Easement Area;
- (c) comply with and will ensure that its invitees comply with all statutes, ordinances, proclamations, orders and regulations, present or future affecting or relating to the use of the Easement Area pursuant to this deed and all requirements which may be made or notices or orders which may be given by any governmental, semi-governmental, city, municipal, health licensing or other authority in respect thereof;
- (d) not permit or cause and will ensure that its invitees do not permit or cause

63441403

FORM B2

Form Approval No: B1134

WESTERN AUSTRALIA

TRANSFER OF LAND ACT 1893 AS AMENDED

Date

**BLANK INSTRUMENT FORM****Easement Area B**

(Note 1)

OFFICE OF  
11 APR 2018  
No Duty Payable J.P.  
STATE REVENUE WA

**This deed of easement**

is made on 28 February 2018

by:

1. **Coles Group Property Developments Ltd**  
ACN 004 428 326 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria  
(formerly of Level 5, Module 4, 8000 Toorak Road, Tooronga, Victoria)  
and  
**Blackwattle Holdings Pty Ltd**  
ACN 119 818 236 of 358 Oxford Street, Leederville, Western Australia  
(formerly of 25 Stott Way, Duncraig, Western Australia);  
and  
**Orana Holdings Pty Ltd**  
ACN 008 847 247 of care of 'Smith Thornton', Level 1, 234 Stirling Terrace  
Albany, Western Australia (formerly of care of Bird Cameron, 190 York  
Street, Albany, Western Australia);  
and  
**Andearp Pty Ltd**  
ACN 126 637 232 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria,  
(together, the User)
2. **Edward Peter Mastalerz**  
of 19 Katoomba Street, Albany, Western Australia  
(Owner)

**Recitals**

- A. The Owner is the registered proprietor for the time being of the Owner Lot.
- B. The User is the registered proprietor for the time being of the User Lot.
- C. The Owner wishes to create an easement over the Owner Lot as shown on Deposited Plan 405159 in favour of the User Lot.

**The deed witnesses as follows****1 Definitions**

In this deed:

**Easement Area** means that part of the Owner Lot marked easement "B" on Deposited Plan 405159.**Owner Lot** means Lot 403 on Deposited Plan 37217 being the whole of the land

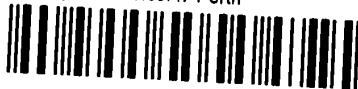
63441403.10

**INSTRUCTIONS**

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
2. If insufficient space hereon Additional Sheet Form B1 should be used.
3. Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by the parties.
4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

**NOTES**

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The full name, address and occupation of the witness must be stated. Execution by a corporation or body corporate must be in accordance with the *Corporation Act*.

**N891885 E<sup>v</sup>**  
 08 May 2018 15:09:47 Perth  


LODGED BY

ADDRESS **Herbert Smith Freehills  
 QV.1 Building  
 250 St Georges Terrace  
 PERTH WA 6000**

PHONE No. **Tel: 9211 7777**

FAX No. **Fax: 9211 7878**  
**LTO Box 116D Perth**

REFERENCE No.

ISSUING BOX No.

PREPARED BY Herbert Smith Freehills

ADDRESS Level 36  
 QV1 Building  
 250 St Georges Terrace  
 PERTH WA 6000

PHONE No. (08) 9211 7777

FAX No. (08) 9211 7878

Reference No. FAP/CK: 82282884

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

b/l

TITLES, LEASES, DECLARATIONS ETC LODGED HEREWITH

1.	_____	Received Items
2.	_____	Nos. 0
3.	_____	
4.	_____	
5.	_____	
6.	_____	Receiving Clerk

Registered pursuant to the provisions of the *TRANSFER OF LAND ACT 1893* as amended on the day and time shown above and particulars entered in the Register.


EXAMINED

**Executed as a deed:**

Dated the 21 day of Dec 2017

Signed for  
**Orana Holdings Pty Ltd** ACN 008 847 247  
by

print name RONALD MARK SIEMIGINOWSKI

sign here ►   
as director and authorised signatory

64991050

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### Consent to Easement C on Deposited Plan 405159

Registrar of Titles  
Department of Land Information

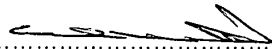
Dear Sir

**Bank of Western Australia Limited**, being a person with a registered interest in Lot 404 on Deposited Plan 37217 the land in Certificate of Title Volume 2547 Folio 390, as mortgagee under Mortgage 1569841, hereby consents to the creation of the easement marked 'C' on Deposited Plan 405159 and to this consent being inserted into the relevant registration version of the 'Landgate Form B2':

Dated the 30TH day of JUNE 2015.

EXECUTED by **BANKWEST, A DIVISION OF  
COMMONWEALTH BANK OF AUSTRALIA**  
ABN 48 123 123 124 by its duly constituted  
Attorney under Power of Attorney  
No. M26349 dated 7 August 2012 who has no  
notice of revocation of such Power of Attorney  
in the  
presence of:

by its attorney:



Signature

CARL RAYMOND McDONALD

RELATIONSHIP MANAGER

Full name and Title (please print)



An Officer of the Bank

Paul Kenneth Fergus

Full Name (Please print):

30TH JUNE 2015

Date

41925441

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64991050

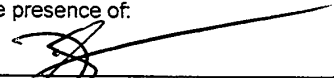


**Executed as a deed:**

Dated the 17 day of November 2017

Signed by **Edward Peter Mastalerz**

in the presence of:

  
\_\_\_\_\_  
Signature of Witness

  
\_\_\_\_\_  
Signature - Edward Peter Mastalerz

**DAMON BRYCE SEYMOUR**  
**LEGAL PRACTITIONER**  
\_\_\_\_\_  
Name of Witness (print)  
77 ALBANY HIGHWAY  
ALBANY WA 6330  
\_\_\_\_\_  
PH: (08) 9842 1776

\_\_\_\_\_  
Address of Witness (print)

\_\_\_\_\_  
Occupation of Witness (print)

64991050

**INSTRUCTIONS**

1. This form may be used only when a "Box Type" Form is not provided or is unsuitable. It may be completed in narrative style.
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4. No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the persons signing this document and their witnesses.

**NOTES**

1. Insert document type.
2. A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult person. The full name, address and occupation of the witness must be stated. Execution by a corporation or body corporate must be in accordance with the *Corporation Act*.

OFFICE USE ONLY

LODGED BY

ADDRESS

PHONE No.

FAX No.

REFERENCE No.

ISSUING BOX No.

PREPARED BY Herbert Smith Freehills  
Barristers & Solicitors

ADDRESS Level 36  
QV1 Building  
250 St Georges Terrace  
PERTH WA 6000

PHONE No. (08) 9211 7777

FAX No. (08) 9211 7878

Reference No. FAP/FR: 82282884

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

TITLES, LEASES, DECLARATIONS ETC LODGED HERewith

- |          |                 |
|----------|-----------------|
| 1. _____ | Received Items  |
| 2. _____ | Nos.            |
| 3. _____ |                 |
| 4. _____ |                 |
| 5. _____ |                 |
| 6. _____ | Receiving Clerk |

Registered pursuant to the provisions of the *TRANSFER OF LAND ACT 1893* as amended on the day and time shown above and particulars entered in the Register.

EXAMINED

41925441

**Executed as a deed:**

Dated the 23<sup>rd</sup> day of June 2015.

Executed by  
**Blackwattle Holdings Pty Ltd** ACN 119 818 236  
in accordance with section 127 of the  
Corporations Act 2001 (Cth)  
by

sign here ▶ *[Signature]*  
SOLE Company Secretary / Director AND SOLE DIRECTOR  
print name COLIN JOHN DWYER.

sign here ▶ \_\_\_\_\_  
Director  
print name \_\_\_\_\_

41925441

6609 10/12/2023  
6510 10/12/2023

10/12/2023 10:14 AM  
Request number: 66002021

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6609 10/12/2023  
6510 10/12/2023


10/12/2023 10:14 AM  
Request number: 66002021

64991050

**Executed as a deed:**

Dated the 28 day of February 2018.

Executed by **Coles Group Property Developments Limited** ACN 004 428 326 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

  
\_\_\_\_\_  
Signature of Witness

JOEL BURSTNER  
\_\_\_\_\_  
Name of Witness (print)

800 Toorak Road  
Hawthorn East Victoria 3123  
\_\_\_\_\_  
Address of Witness (print)

An Australian legal practitioner  
within the meaning of the  
Legal Profession Uniform Law (Victoria)  
\_\_\_\_\_  
Occupation of Witness (print)

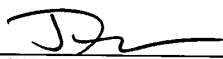


\_\_\_\_\_  
Attorney

\_\_\_\_\_  
Name of Attorney (print)

**David Andrew Brewster**  
**Legal Director**  
**Class A Attorney**

Executed by **Andearp Pty Ltd** ACN 126 637 232 by its duly appointed Attorney who states that they have received no notice of revocation of the Power of Attorney dealing number N462830 under the authority of which this document is executed in the presence of:

  
\_\_\_\_\_  
Signature of Witness

JOEL BURSTNER  
\_\_\_\_\_  
Name of Witness (print)

800 Toorak Road  
Hawthorn East Victoria 3123  
\_\_\_\_\_  
Address of Witness (print)

An Australian legal practitioner  
within the meaning of the  
Legal Profession Uniform Law (Victoria)  
\_\_\_\_\_  
Occupation of Witness (print)



\_\_\_\_\_  
Attorney

\_\_\_\_\_  
Name of Attorney (print)

**David Andrew Brewster**  
**Legal Director**  
**Class A Attorney**

64991050

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68533894

- (e) not and will ensure that its invitees do not enter any part of the Owner Lot not comprised in the Easement Area;
- (f) not and will ensure that its invitees do not do any act, matter or thing on the Easement Area which would constitute a nuisance or fire hazard or which could cause injury or damage to any person; and
- (g) not and will ensure that its invitees do not loiter on the Easement Area or obstruct the Easement Area or allow any vehicle to park or stand on the Easement Area.

### 3.2 Rights

The right of any party to exercise the rights contained in this deed extends to that party's invitees.

## 4 Encumbrances

The Owner Lot is subject to the Specified Encumbrances.

## 5 Notices

Any notice, or other communication given under this deed:

- (a) must be in writing and delivered or sent to:
  - (1) the address of the relevant lot; or
  - (2) the address of the owner of the relevant lot as shown on the Certificate of Title for that relevant lot, or to any other address specified by any party to the sender by notice;
- (b) must be signed by the sender or an attorney, a director or secretary of the sender or by a solicitor on behalf of the sender; and
- (c) will be treated as having been given by the sender and received by or served on the addressee:
  - (1) if by delivery in person - when delivered to the addressee; and
  - (2) if by registered post - on the day which is the third day (excluding weekends and public holidays) after the date of posting.

## Schedule - Limitations, interests, encumbrances and notifications

1. Mortgage to Bank of Western Australia I569841

68533894

**Specified Encumbrances** means the limitations, interests, encumbrances and notifications set out in the schedule to this deed.

**User Lot** means:

- (a) Lot 401 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 387 (of which Coles Group Property Developments Ltd is the registered proprietor);
- (b) Lot 402 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 388 (of which Blackwattle Holdings Pty Ltd is the registered proprietor);
- (c) Lot 403 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 389 (of which Edward Peter Mastalerz is the registered proprietor); and
- (d) Lot 405 on Deposited Plan 37217 being the whole of the land comprised in Certificate of Title Volume 2547 Folio 391 (of which Andearp Pty Ltd is the registered proprietor).

## 2 Easement

- (a) The Owner creates, in favour of the User Lot and the registered proprietors from time to time of the User Lot, the right to enter on and to go pass and repass at all times in motor vehicles, other carriages or on foot over and along the Easement Area or any part thereof for the purpose of obtaining access or egress from the User Lot over the Easement Area (**Rights**).
- (b) For the avoidance of doubt:
  - (1) The User Lot is entitled to the benefit of the Rights over the Easement Area; and
  - (2) The Easement Area is subject to the burden of the Rights.

## 3 Obligations and Rights

### 3.1 User's Obligations

The owner of the User Lot must:

- (a) not use and will ensure that its invitees do not use the Easement Area for any purpose other than as specified in this deed;
- (b) not permit or cause and will ensure that its invitees do not permit or cause any rubbish, refuse, petrol, diesel or oil or other lubricants to be dropped or placed on the Easement Area;
- (c) comply with and will ensure that its invitees comply with all statutes, ordinances, proclamations, orders and regulations, present or future affecting or relating to the use of the Easement Area pursuant to this deed and all requirements which may be made or notices or orders which may be given by any governmental, semi-governmental, city, municipal, health licensing or other authority in respect thereof;
- (d) not permit or cause and will ensure that its invitees do not permit or cause any damage to the Easement Area;

68533894



FORM B2

Form Approval No: B1134

WESTERN AUSTRALIA

TRANSFER OF LAND ACT 1893 AS AMENDED

Date

OFFICE OF  
11 APR 2018  
No Duty Payable J.P.  
STATE REVENUE WA

**BLANK INSTRUMENT FORM**

Easement Area C

(Note 1)

**This deed of easement**

is made on 28 February 2018

by:

1. **Blackwattle Holdings Pty Ltd**  
ACN 119 818 236 of 358 Oxford Street, Leederville, Western Australia  
(formerly of 25 Stott Way, Duncraig, Western Australia);  
and  
**Edward Peter Mastalerz**  
of 19 Katoomba Street, Albany, Western Australia;  
and  
**Coles Group Property Developments Ltd**  
ACN 004 428 326 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria  
(formerly of Level 5, Module 4, 8000 Toorak Road, Tooronga, Victoria);  
and  
**Andearp Pty Ltd**  
ACN 126 637 232 of L3 M6, 800 Toorak Road, Hawthorn East, Victoria,  
(together, the **User**)
2. **Orana Holdings Pty Ltd**  
ACN 008 847 247 of care of 'Smith Thornton', Level 1, 234 Stirling  
Terrace, Albany, Western Australia (formerly of care of Bird Cameron,  
190 York Street, Albany, Western Australia) (**Owner**)

**Recitals**

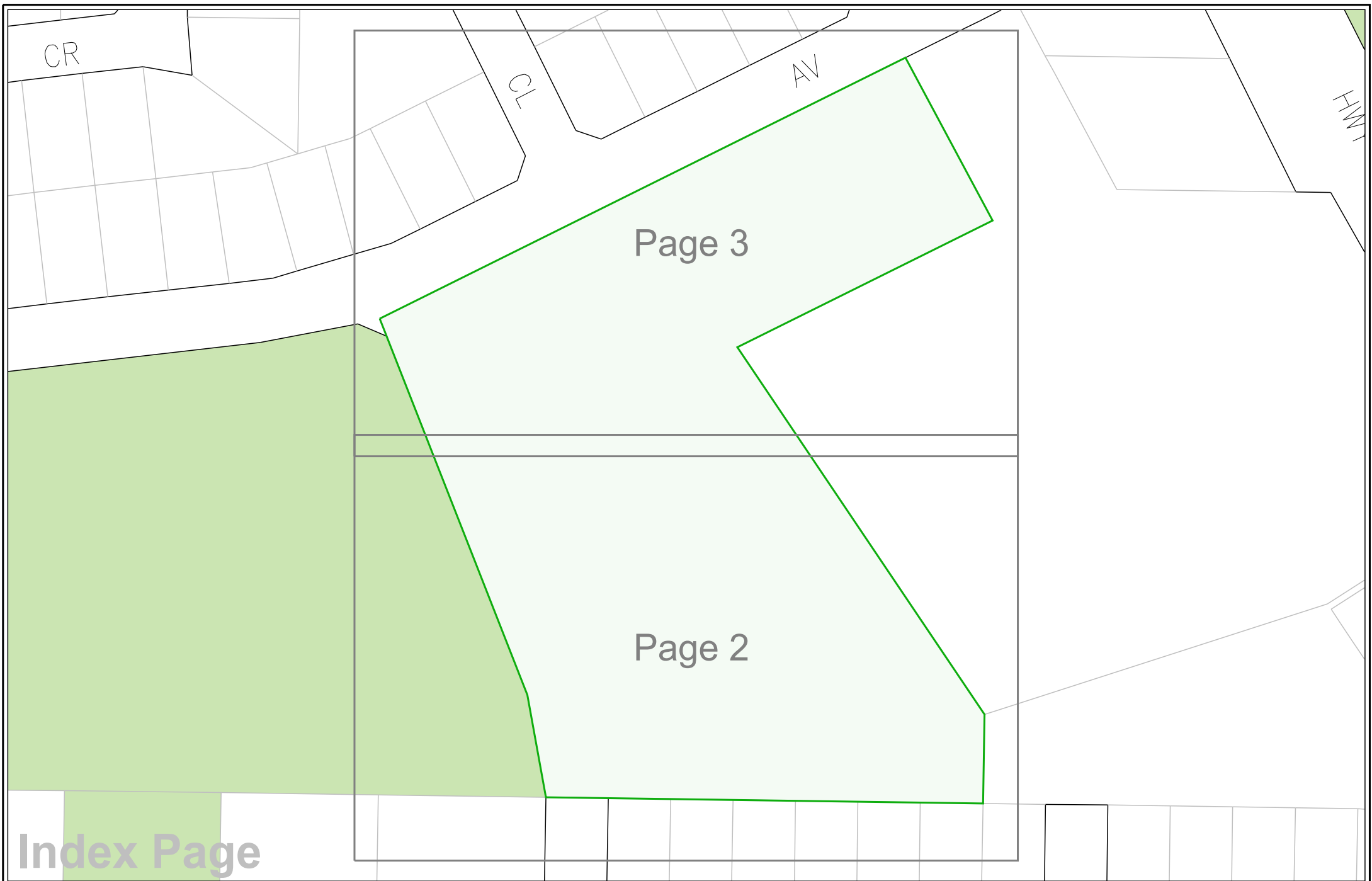
- A. The Owner is the registered proprietor for the time being of the Owner Lot.
- B. The User is the registered proprietor for the time being of the User Lot.
- C. The Owner wishes to create an easement over the Owner Lot as shown on Deposited Plan 405159 in favour of the User Lot.

**The deed witnesses as follows****1 Definitions**

In this deed:

**Easement Area** means that part of the Owner Lot marked easement "C" on Deposited Plan 405159.**Owner Lot** means Lot 404 on Deposited Plan 37217 being the whole of the land in Certificate of Title Volume 2547 Folio 390.

68533894.3



Page 3

Page 2

Index Page



Scale: 1:1536

Sequence No: 233567273

Print Date: 20/12/2023 Page: 1 of 3



**WARNING - CRITICAL PIPELINE**  
*Refer to Information Brochure Damage Prevention and Legend for details*

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H100  
402

LOT 402 LE GRANDE AVE IY20

7

H32

H30

H28

H26

H24

H22

H20



Scale: 1:750

Centre Point: 117.854°, -34.994°

Sequence No: 233567273

Print Date: 20/12/2023 Page: 2 of 3



**WARNING - CRITICAL PIPELINE**  
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Scale: 1:750 Centre Point: 117.854°, -34.993°

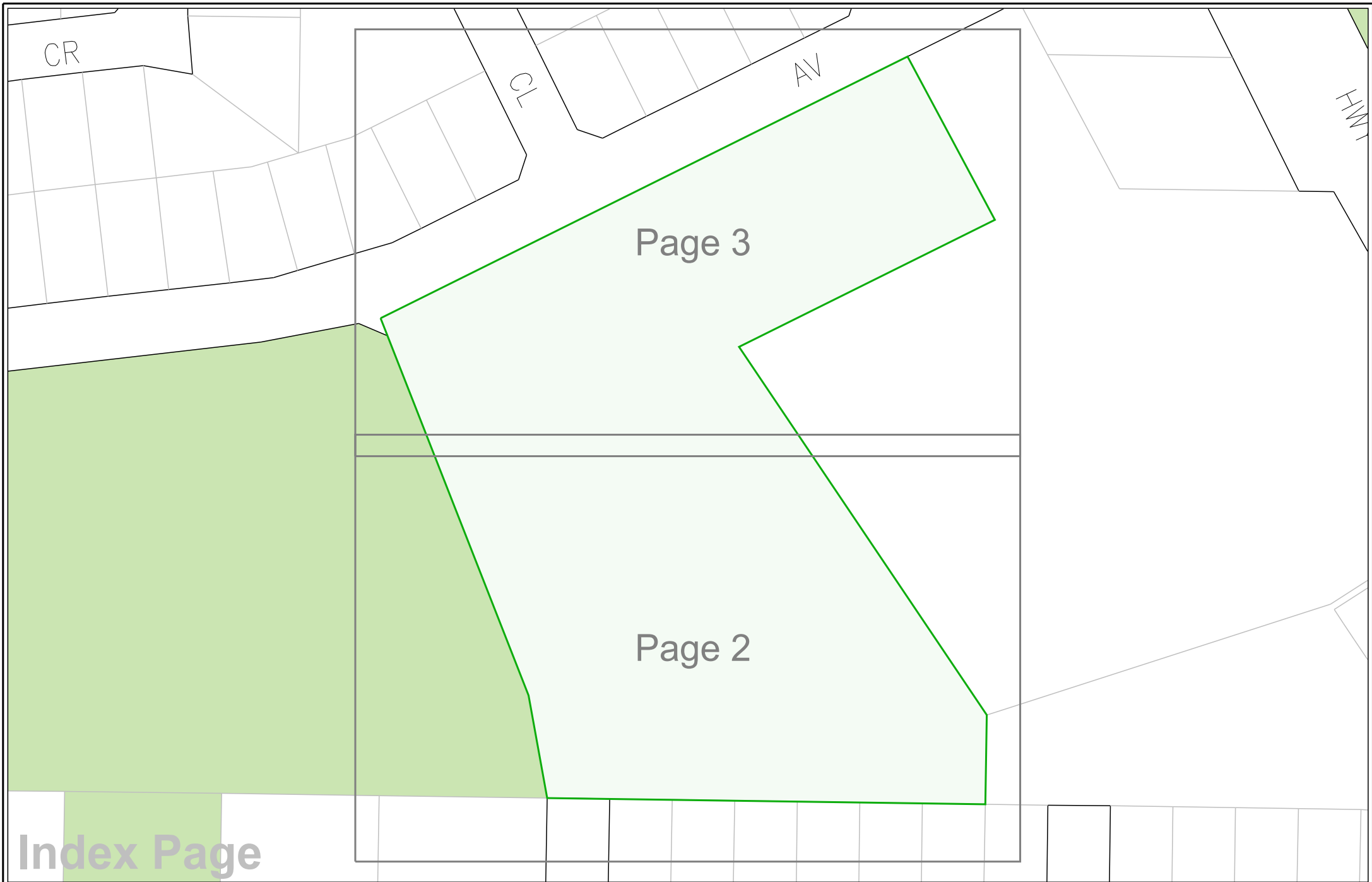
Sequence No: 233567273

Print Date: 20/12/2023 Page: 3 of 3



**WARNING - CRITICAL PIPELINE**  
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Index Page

Scale: 1:1536

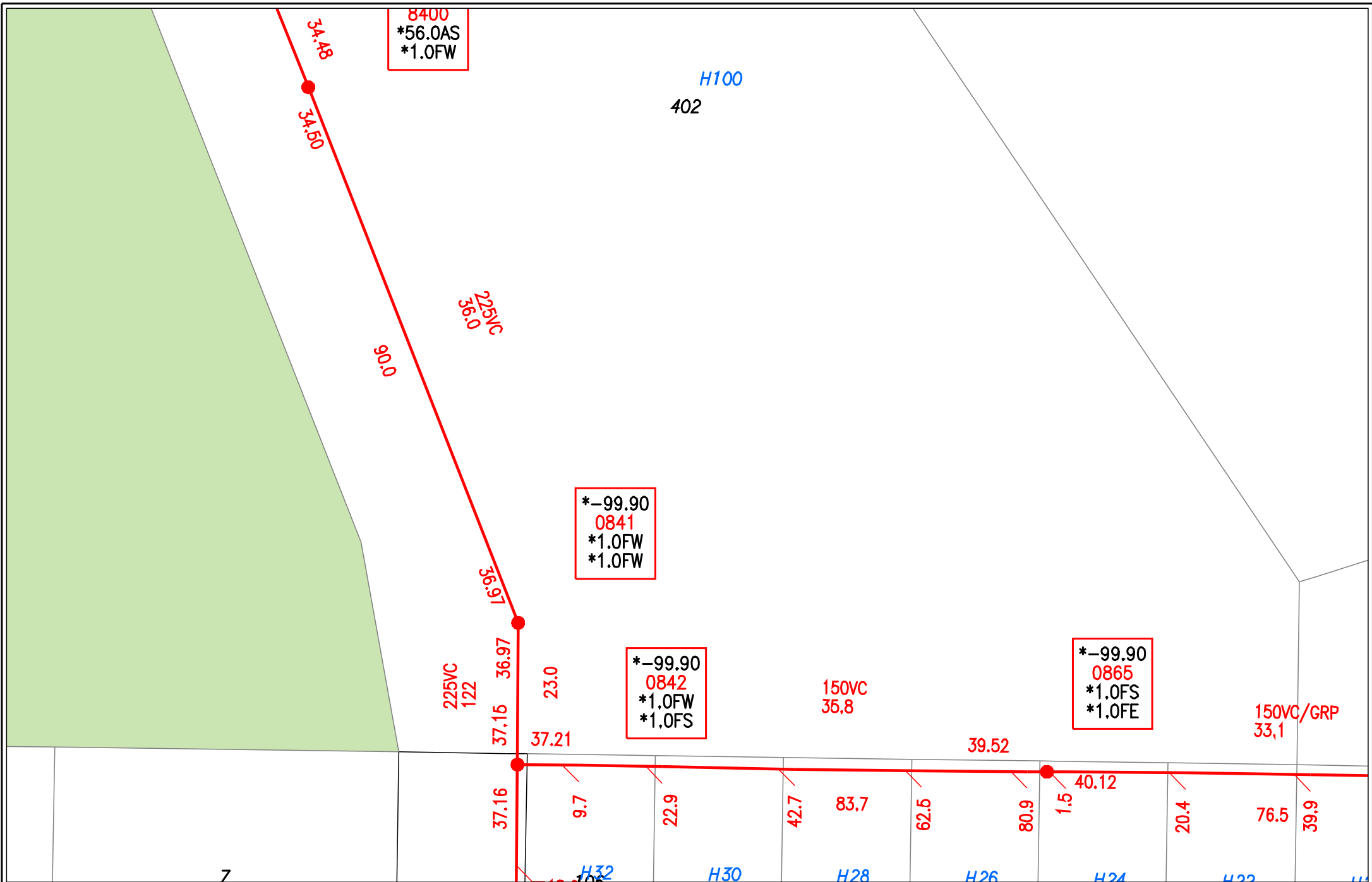
Sequence No: 233567273

Print Date: 20/12/2023 Page: 1 of 3



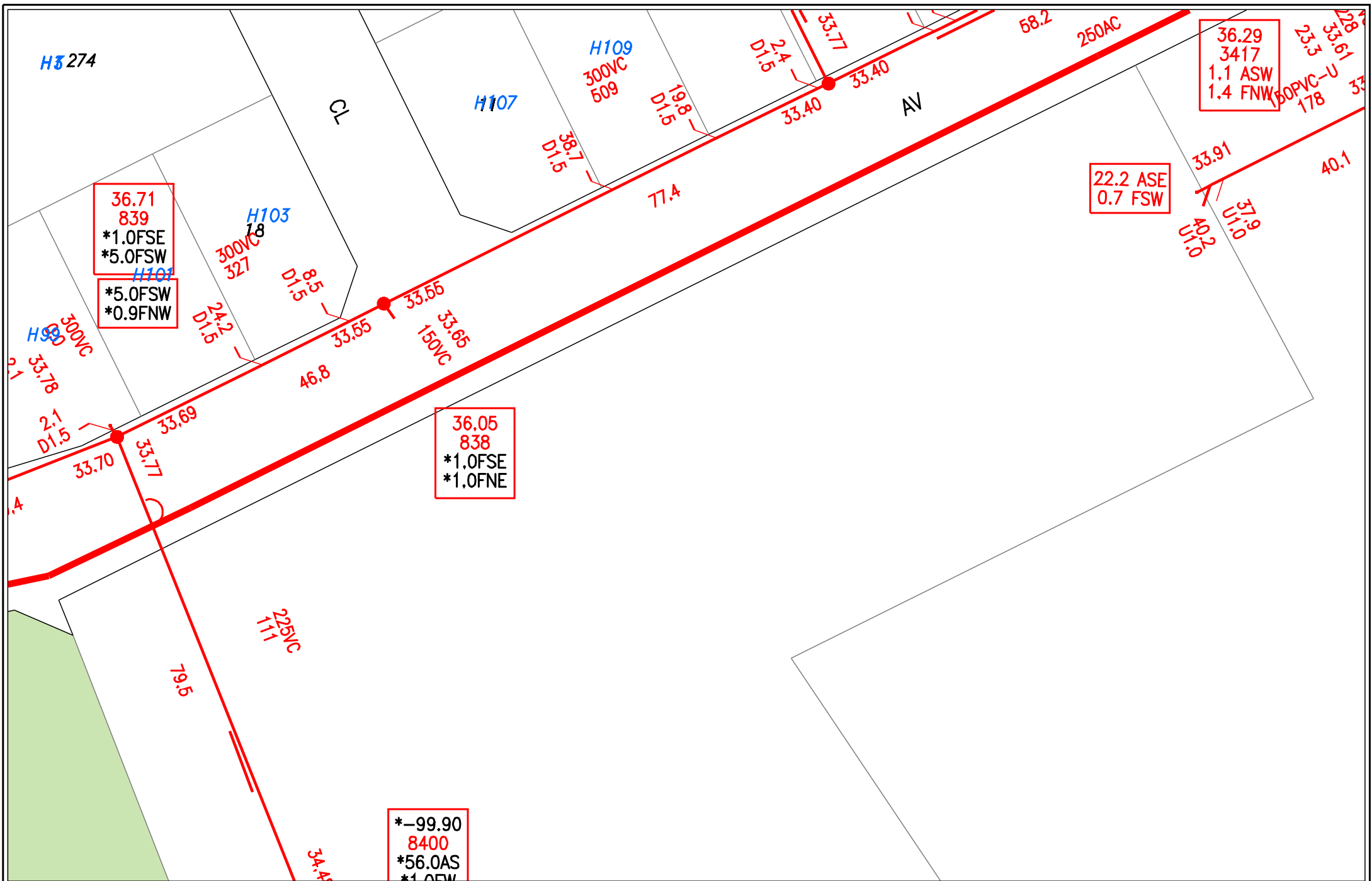
**WARNING - CRITICAL PIPELINE**  
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36.71  
839  
\*1.0FSE  
\*5.0FSW  
H101  
\*5.0FSW  
\*0.9FNW

22.2 ASE  
0.7 FSW

36.05  
838  
\*1.0FSE  
\*1.0FNE

\*-99.90  
8400  
\*56.0AS  
\*1.0FW

36.29  
3417  
1.1 ASW  
1.4 FNW  
50PVC-U  
178



Scale: 1:750 Centre Point: 117.854°, -34.993°  
Sequence No: 233567273  
Print Date: 20/12/2023 Page: 3 of 3



**WARNING - CRITICAL PIPELINE**  
Refer to *Information Brochure Damage Prevention and Legend* for details

The Water Corporation has taken due care in the preparation of this map but accepts no responsibility for any inaccuracies or inappropriate use. This plan may be reproduced in its entirety for the purpose of site work planning but shall not otherwise be altered or published in any form without the permission of the Water Corporation. The Water Corporation may need to be advised of any planned ground disturbing activities near facilities on this map. Refer to Brochure - "Protecting Buried Pipelines". Please report any inaccuracies to Asset Registration Team by email to [asset.registration@watercorporation.com.au](mailto:asset.registration@watercorporation.com.au).

# Plan Legend (summary)

## INFORMATION BROCHURE



This legend is provided to [Dial Before You Dig](#) users to assist with interpreting Water Corporation plans. A more detailed colour version can be downloaded from [www.watercorporation.com.au](http://www.watercorporation.com.au). (Your business > Working near pipelines > Downloads)

**WARNING - Plans may not show all pipes or associated equipment at a site, or their accurate location. Pothole by hand to verify asset location before using powered machinery.**

	<p><b>WATER, SEWERAGE AND DRAINAGE PIPELINES</b></p> <p><b>CRITICAL PIPELINE (thick line) EXTRA CAUTION REQUIRED</b> A risk assessment may be required if working near this pipe. Refer to your <a href="#">Dial Before You Dig</a> information or call 131375.</p> <p>Pipes are not always labelled on plans as shown here – assume all pipes are significant and pothole to prove location and depth.</p> <p>P.M. pressure main M.S. main sewer R rising main (i.e. drainage pressure main)</p> <p><b>Common material abbreviations:</b></p> <p>AC asbestos cement e.g. 100AC NOTE: AC is brittle and is easily damaged. CI cast iron GRP glass reinforced plastic P PVC - class follows pipe material (e.g.100P-12) RC reinforced concrete S steel VC vitrified clay</p>
	<p><b>NON-STANDARD ALIGNMENT</b></p> <p>Pipes are not always located on standard alignments due to local conditions. (i.e. Other than 2.1 m for reticulation mains and 4.5 m for distribution mains.)</p>
	<p><b>OTHER PIPE SYMBOLS</b></p> <p>Other numbers or codes shown on pipes are not physical attributes. These are Water Corporation use only.</p>
	<p><b>CONCRETE ENCASEMENT, SLEEVING AND TUNNELS</b></p> <p>May be in different forms: steel, poured concrete, box sections, slabs.</p>
	<p><b>CHANGE INDICATOR ARROW</b></p> <p>Indicates a change in pipe type or size. e.g. 150mm diameter PVC to 150mm diameter asbestos cement (AC).</p>
	<p><b>PIPE OVERPASS</b></p> <p>The overpass symbol indicates the shallower of the two pipes.</p>
	<p><b>VALVES</b></p> <p>Many different valve types are in use. Valve may be in a pit or have a visible valve cover. There may be no surface indication.</p> <p>Valves may be shallower than the main or offset from it. e.g. A scour valve (SC) may have a pipe coming away from main pipeline on the opposite side to that indicated on the plan.</p>





100P-DOMS



100S FS

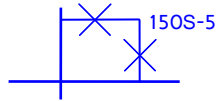
### FIRE SERVICES

100 mm polythene domestic (DOMS) service

FS Fire service

FHS Fire hydrant service

Hydrant may be visible external to the building. Even if not visible a substantial fire service may still be present.



### PIPE BYPASS

Bypass will not be on the same alignment as the main pipeline.



### CATHODIC PROTECTION (CP)

Buried CP equipment may be located some distance from the pipeline being protected interconnected by buried cable. All CP fittings may not be visible.

A buried anode – various sizes and configurations

TP test point - may be visible on a post or in-ground

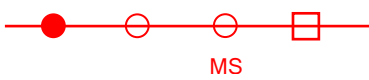
TR transformer rectifier



### ACCESS TEE OR MANHOLE OR SERVICE ACCESS PIT

NOTE: Opening any manhole or pit is dangerous and is prohibited.

Below ground. May not be any visible signs at ground level or may be located in a pit.



### WASTEWATER ACCESS CHAMBERS (MANHOLES)

-- Manhole (shown not labelled)

-- Tee or maintenance shaft (shown not labelled)

MS maintenance shaft (labelled)

WARNING: Opening any manhole or pit is dangerous and is prohibited.

26.24  
V1234  
7.0 ASE  
2.0 FSW

4.01  
0438  
4.2 FE  
1.0 FN

### WASTEWATER MANHOLE INFORMATION BOXES

Square non-trafficable Do not drive vehicles over or place loads.

Round trafficable

In general if not located in the road treat as if non-trafficable.



### HAZARDOUS MANHOLE

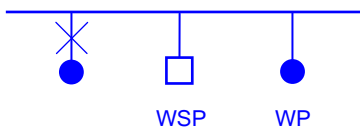
Indicates a potential health hazard from risk of exposure to toxic waste.

WARNING: Opening any manhole is dangerous and is prohibited.



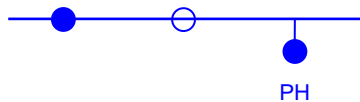
### FLOWMETER

Various types of flow meters located in a pit. May be labelled with identifier. (e.g. 50 MFM, 50MM)



### STANDPIPE, WATER SAMPLING POINT (WSP), WATER SUPPLY POINT (WP)

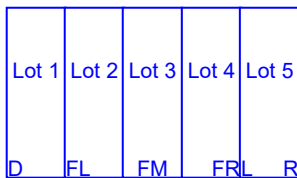
May be located adjacent to mains. Usually there will be some visible indication.



Hydrant May not be visible.

Hydrant Tee May not be visible.

Pillar hydrant Visible



### PRE-LAID SERVICES

D Deferred

FL Fully Pre-laid Left

FM Fully Pre-laid Front Middle

FR Fully Pre-laid Right

L Left

R Right

Code indicates on which side of a lot the water service is located:

May be no visible indication at site.

SOUTH PERTH PS1



### SEWER OR DRAINAGE PUMP STATION

Several pipes and a pressurised main will be in the vicinity.

3.9 1:2.7



### OPEN CHANNEL

OA Landscaped

OE Normal Open Earth

OF Open channel with flood levee

OH Half Pipe

OL Lined Channel

OS Swale-Shallow Depression

OW Natural Water Course

Drainage structures, even if dry, must be kept clear of any obstruction such as sand stockpiles.

# Overview Map Only

Sequence No: 233567274

Map Tile:

Scale: 1:3075

© ATCO Gas Australia Pty Ltd  
ABN 90 089 531 975

Job No: 35711565

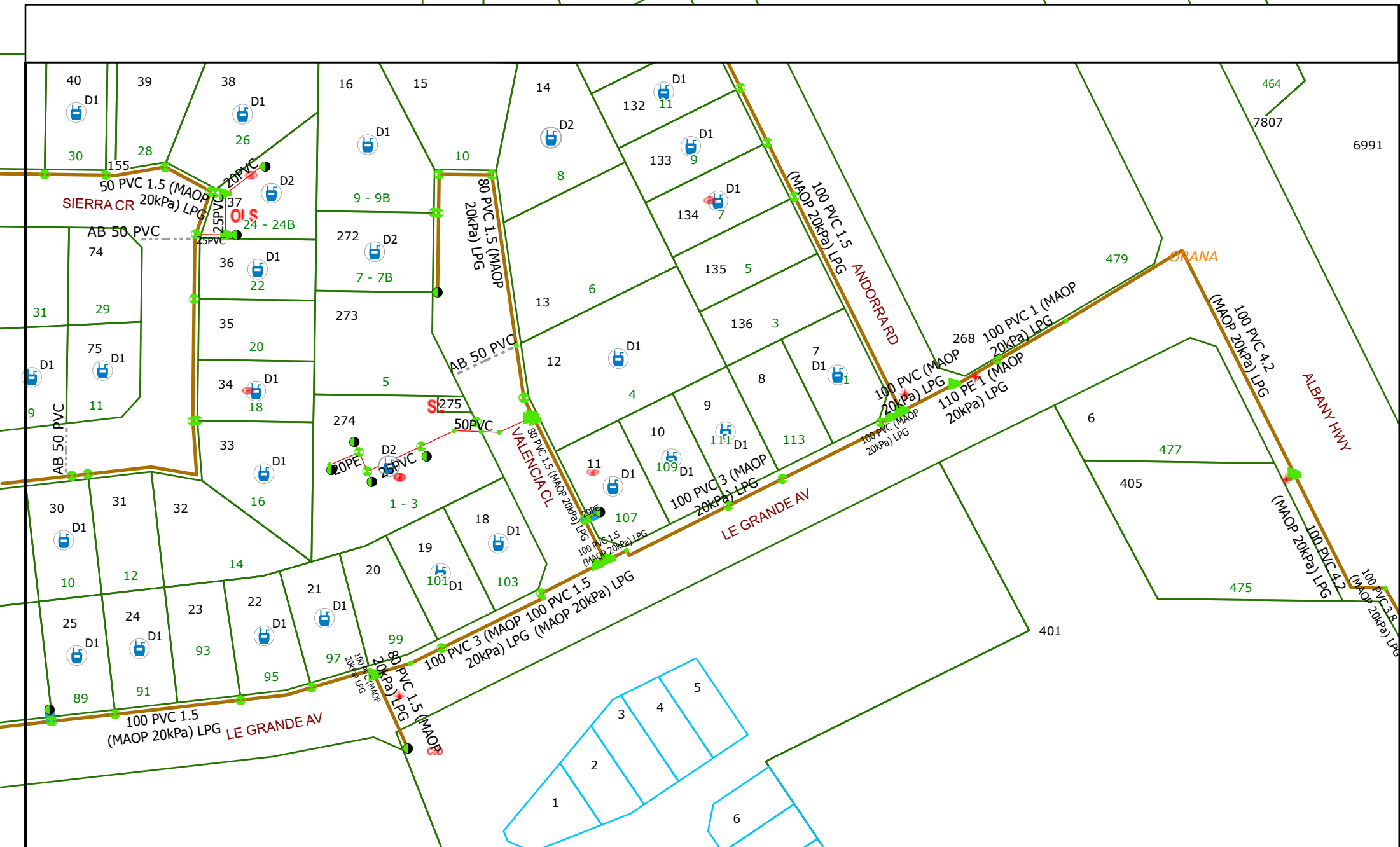
Date:20/12/2023

Location: 100 Le Grande Av, Orana 6330



Please read all **warnings**, conditions and information on the attached "Underground Asset Details" information sheet. This plan is issued subject to that information and those conditions and **warnings** (including, but not limited to, the "NO HOT WORKS" warning). Plans are current for only **30 days** from date of request, indicative only and not warranted to be accurate. It is your responsibility to carefully locate underground assets and follow safe work practises and procedures (eg pot-holing). ATCO Gas Australia will seek compensation for damage caused to assets.

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Western Australian Land Information Authority trading as Landgate



Sequence No: 233567274

Map Tile: 1

Scale: 1:1500

© ATCO Gas Australia Pty Ltd  
 ABN 90 089 531 975

Job No: 35711565

Date: 20/12/2023

Location: 100 Le Grande Av, Orana 6330



Please read all **warnings**, conditions and information on the attached "Underground Asset Details" information sheet. This plan is issued subject to that information and those conditions and **warnings** (including, but not limited to, the "NO HOT WORKS" warning). Plans are current for only **30 days** from date of request, indicative only and not warranted to be accurate. It is your responsibility to carefully locate underground assets and follow safe work practises and procedures (eg pot-holing). ATCO Gas Australia will seek compensation for damage caused to assets.

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Sequence No: 233567274

Map Tile: 2

Scale: 1:1500

© ATCO Gas Australia Pty Ltd  
ABN 90 089 531 975

Job No: 35711565

Date: 20/12/2023

Location: 100 Le Grande Av, Orana 6330



Please read all **warnings**, conditions and information on the attached "Underground Asset Details" information sheet. This plan is issued subject to that information and those conditions and **warnings** (including, but not limited to, the "NO HOT WORKS" warning). Plans are current for only **30 days** from date of request, indicative only and not warranted to be accurate. It is your responsibility to carefully locate underground assets and follow safe work practises and procedures (eg pot-holing). ATCO Gas Australia will seek compensation for damage caused to assets.

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# SYMBOLS SHEET

## GAS UTILITY NETWORK

### EXISTING GAS NETWORK

- Transmission Pipelines
- Distribution Pipelines
- Distribution Pipe MAOP 350kPa
- Distribution Pipe MAOP 70kPa
- Distribution Pipe MAOP 7kPa
- Not Gassed (none)
- Service Pipe

### PROPOSED GAS NETWORK

- Proposed Main
- Common Trenching
- Replacement Program

### ABANDONED GAS NETWORK

- Inactive / Removed Meter
- Abandoned Fitting
- Abandoned Valve
- Abandoned Gas Main
- Abandoned Fitting SOLD
- Abandoned Valve SOLD
- Abandoned Gas Main SOLD

### COMPOUNDS

- Gate Station
- Pressure Reducing Station
- L.P.G. Tank
- Hydrogen Plant

### VALVES

- Isolation Valves
- Service Valves

### MONITORING DEVICES

- Flow Monitoring Device
- Pressure Monitoring Device

### ASSOCIATED INFRASTRUCTURE

- Associated Asset

### DUCTS AND SLEEVES

- Duct
- Horizontal Boring
- Sleeve
- Road Crossing
- Concrete Slabbing

### REGULATOR SETS

- Regulator Set
- Boundary Regulator

### DELIVERY POINTS

- Meter
- Interval Meter
- Meter Set

### PIPE JUNCTIONS

- End Cap
- Expansion Joint
- Reducer
- Tee
- Transition
- Weld
- Monolithic Joint
- Stopple
- Odorizer
- Junctions

### PROTECTION DEVICES

- Test Point
- Anode
- Rectifier

## FEATURES

### FEATURE POINTS

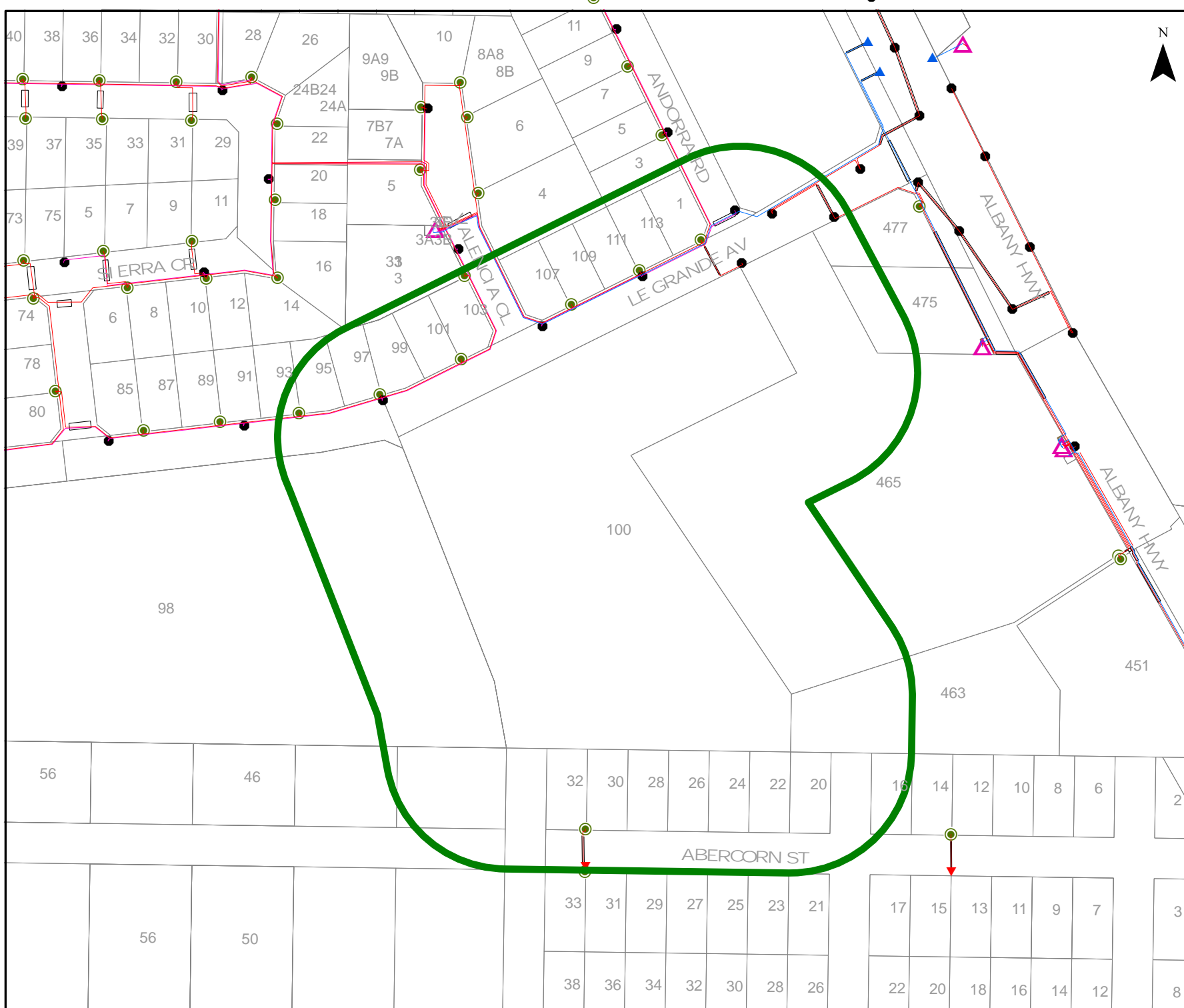
- SC** Side Elevation
- Obstacle
- See Details
- NC** Not Connected
- SV** Gas Service
- Sign
- OLS** Offline Service
- Linked Document
- PLS** Pre-Laid Service
- PLSS** Pre-Laid Service Stairs
- PLST** Pre-Laid Service Tee
- BL** Asset end on Building / Property Line
- CoD** Asset ends on Direction Peg

### FEATURE LINES

- Reference Line
- Gas Pit
- Arrow Pointer

### FEATURE POLYGONS

- Proving Location
- Pressure Upgrade
- Not Gassed
- Suburb
- Local Government



### UNDERGROUND LEGEND

- Structures**
- Pillar
  - Metal Pole
  - Transformer Site
  - UG Crossing \*
  - Ring Main Unit
  - LV Distribution Frame

- Distribution Cables**
- High Voltage Cable (1kV - 33kV)
  - Low Voltage Cable (< 1kV)
  - Street Light Circuit (< 1kV)
  - Street Light Pilot (< 1kV)
  - Earth Wire

- Cable Pole Terminations**
- HV Termination
  - LV Termination

- Proposed Construction Assets**
- Design Area \*
  - High Voltage Underground Cable
  - Low Voltage Underground Cable
  - Metal Pole
  - Pillar
  - Transformer site
  - HV Termination
  - LV Termination

- State Underground Power Project**
- CURRENT Work Area \*
  - COMPLETED Area \*

- Feature**
- Area of Interest

\* Please refer to coversheet

Privately owned cables NOT SHOWN (including house services)

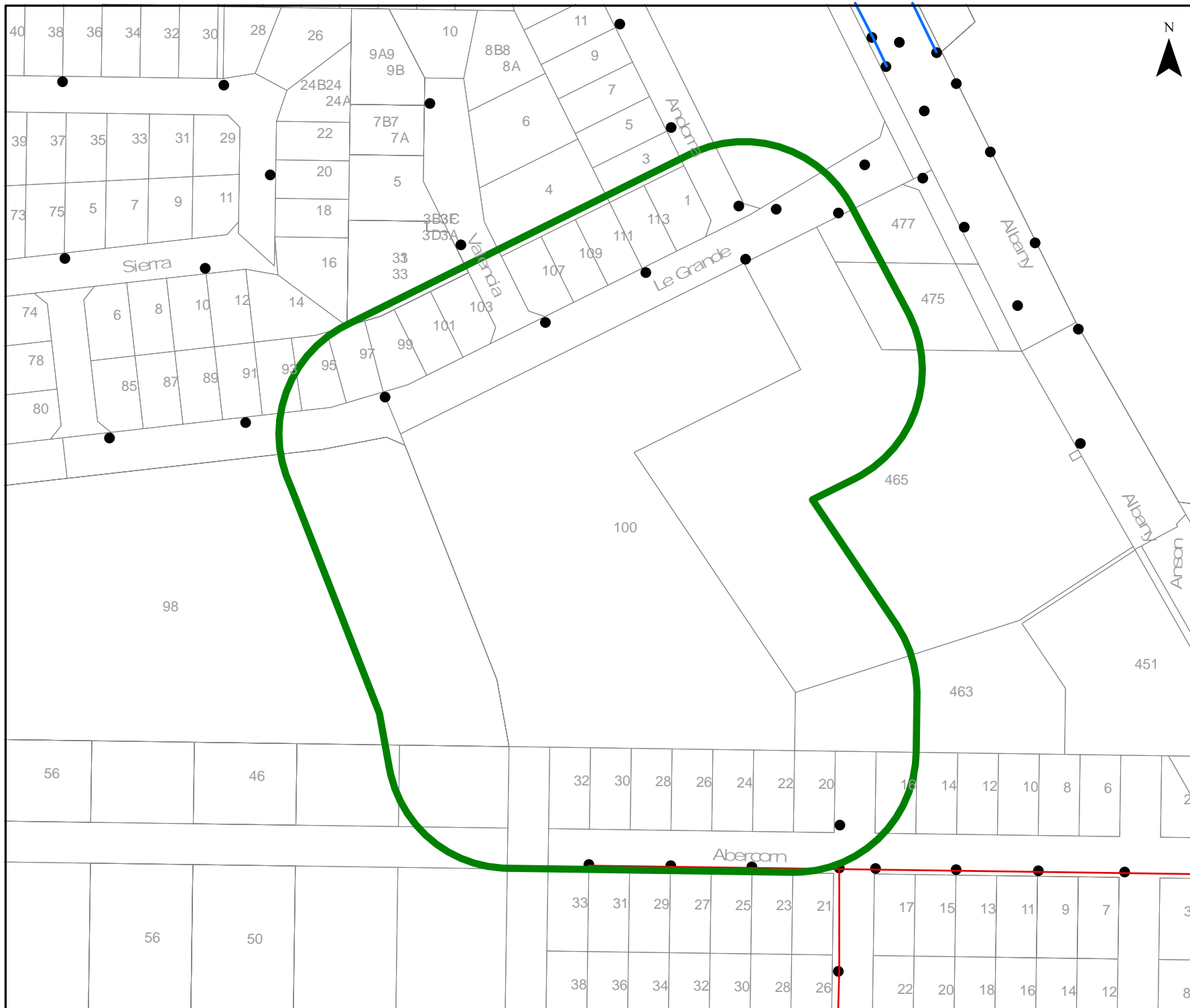
This map is INDICATIVE ONLY. Hand exposure via pothole method is MANDATORY.

Telephone Support: 1300 769 345  
Mon to Fri - 08:00 to 16:30

Information valid for 30 days from date of issue

A4 Scale : 1:2500

**WARNING! Look out for overhead power lines**



**OVERHEAD LEGEND**

- Structures**
- Power Pole    ■ Transmission Poles
- Transmission Overhead Powerline**
- Transmission (33kV - 330kV)
- Distribution Overhead Powerline**
- High Voltage (1kV - 33kV)
- Low Voltage (< 1kV)
- Proposed Construction Assets**
- Design Area \*
- High Voltage Overhead Powerline
- Low Voltage Overhead Powerline
- Power Pole
- Communications Assets**
- Overhead Pilot Cable
- Feature**
- ▭ Area of Interest

**\* Please refer to coversheet**  
**Privately owned cables NOT SHOWN (including house services)**  
 This map is **INDICATIVE ONLY**.  
 Check that you have enough clearance from the **DANGER ZONES** near overhead powerlines.  
 Telephone Support: 1300 769 345  
 Mon to Fri - 08:00 to 16:30

Information valid for 30 days from date of issue

A4      Scale : 1:2500

**WARNING! Look out for overhead power lines**



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>  
 Ph - 13 22 03  
 Email - Telstra.Plans@team.telstra.com  
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 233567277

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

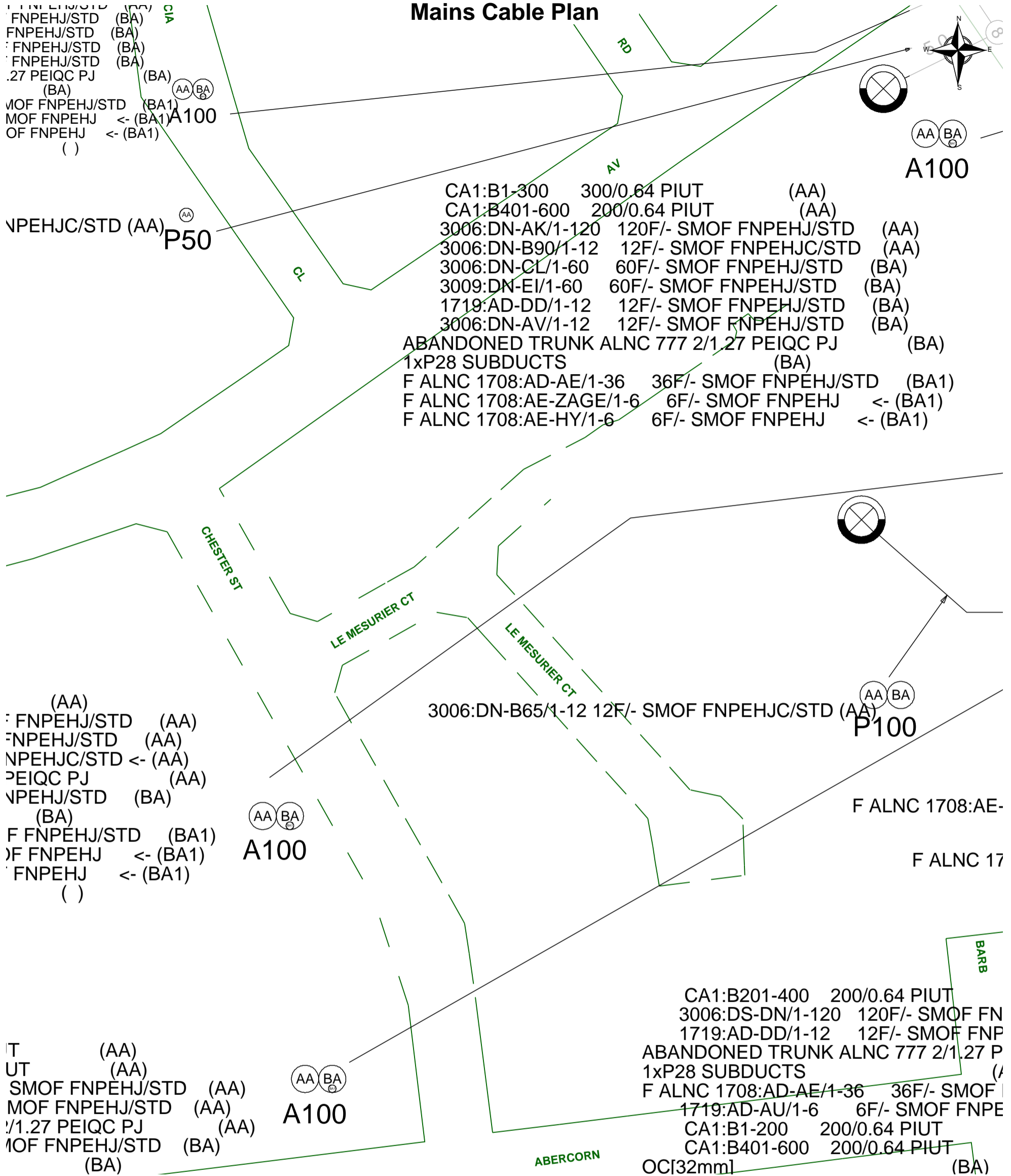
TELSTRA LIMITED A.C.N. 086 174 781  
 Generated On 20/12/2023 17:06:05

The above plan must be viewed in conjunction with the Mains Cable Plan on the following page

**WARNING**  
 Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.  
 See the Steps- Telstra Duty of Care that was provided in the email response.



# Mains Cable Plan



Report Damage: <https://service.telstra.com.au/customer/general/forms/report-damage-to-telstra-equipment>  
 Ph - 13 22 03  
 Email - Telstra.Plans@team.telstra.com  
 Planned Services - ph 1800 653 935 (AEST bus hrs only) General Enquiries

Sequence Number: 233567277

**CAUTION: Fibre optic and/ or major network present in plot area. Please read the Duty of Care and contact Telstra Plan Services should you require any assistance.**

TELSTRA LIMITED A.C.N. 086 174 781

Generated On 20/12/2023 17:06:06

**WARNING**  
 Telstra plans and location information conform to Quality Level "D" of the Australian Standard AS 5488-Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. The exact position of Telstra assets can only be validated by physically exposing it. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy. Further on site investigation is required to validate the exact location of Telstra plant prior to commencing construction work. A Certified Locating Organisation is an essential part of the process to validate the exact location of Telstra assets and to ensure the asset is protected during construction works.  
 See the Steps- Telstra Duty of Care that was provided in the email response.



## OPENING ELECTRONIC MAP ATTACHMENTS -

Telstra Cable Plans are generated automatically in either PDF or DWF file types dependant on the site address and the size of area selected. You may need to download and install free viewing software from the internet e.g.



### PDF Map Files (max size A3)

Adobe Acrobat Reader ( <http://get.adobe.com/reader/> ),



### DWF Map Files (all sizes over A3)

Autodesk Viewer (Browser) ( <https://viewer.autodesk.com/> ) or

Autodesk Design Review ( <http://usa.autodesk.com/design-review/> ) for DWF files. (Windows)



### Telstra BYDA map related enquiries

email - [Telstra.Plans@team.telstra.com](mailto:Telstra.Plans@team.telstra.com)

1800 653 935 (AEST Business Hours only)



### REPORT ANY DAMAGE TO THE TELSTRA NETWORK IMMEDIATELY

Report online - <https://www.telstra.com.au/forms/report-damage-to-telstra-equipment>

Ph: **13 22 03**

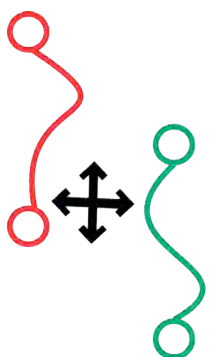
If you receive a message asking for a phone or account number say:

“I don’t have one” then say “Report Damage” then press 1 to speak to an operator.



### Telstra New Connections / Disconnections

**13 22 00**



**Telstra asset relocation enquiries:** 1800 810 443 (AEST business hours only).

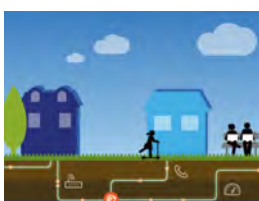
[NetworkIntegrity@team.telstra.com](mailto:NetworkIntegrity@team.telstra.com)

<https://www.telstra.com.au/consumer-advice/digging-construction>

Certified Locating Organisation (CLO)

<https://dbydlocator.com/certified-locating-organisation/>

Please refer to attached Accredited Plant Locator.pdf



Telstra Smart Communities

Information for new developments (developers, builders, homeowners)

<https://www.telstra.com.au/smart-community>

# LEGEND



For more info contact a [Certified Locating Organisation](#) or Telstra Plan Services 1800 653 935

Exchange (Major Cable Present)	Footway Access Chamber (can vary from 1-lid to 12-lid)	or  Pillar / Cabinet (above ground / free standing)	Above ground complex equipment housing (eg RIM) Please Note: This equipment is powered by 240V Electricity	Cable Jointing Pit (number / Letter indicating Pit Type)
OC Other Carrier Telecommunications Cable/Asset	Dist Distribution cables in Main Cable ducts	MC Main Cable ducts on a Distribution plan	Blocked or damaged duct.	Telstra Plant in shared Utility trench
<b>Roadside / Front Boundary</b> 2 pair lead-in to property from pit in street 1 P20 O59 pair working (pair ID 059) 1 DEAD 1 pair dead (i.e. spare, not connected) <b>Side / Rear Property Boundary</b> Property Number 107		Aerial Cable / Overhead (includes on wall)	Aerial Cable (attached to joint Use Pole eg. Power)	Direct Buried Cable
Single to multiple round conduit Configurations 1,2,4,9 respectively P100 (attached text denotes conduit type and size)		Multiple square conduit Configurations 2, 4, 6 respectively E85 (attached text denotes conduit type and size)		
<p><b>Some examples of how to read Telstra Plans</b></p> One 50mm PVC conduit (P50) containing a 50-pair and a 10-pair cable between two 6-pits. approximately 20.0m apart, with a direct buried 30-pair cable along the same route				
Two separate conduit runs between two footway access chambers (manholes) approximately 245m apart A nest of four 100mm PVC conduits (P100) containing assorted cables in three ducts (one being empty) and one empty 100mm concrete duct (C100)				

**Some examples of conduit type and size:**

A - Asbestos cement, P - PVC / Plastic, C - Concrete,  
 GI - Galanised iron, E - Earthenware  
 Conduit sizes *nominally* range from 20mm to 100mm  
 P50 50mm PVC conduit  
 P100 100mm PVC conduit  
 A100 100mm asbestos cement conduit

**WARNING:** Telstra plans and location information conform to Quality Level 'D' of the Australian Standard AS 5488 - Classification of Subsurface Utility Information. As such, Telstra supplied location information is indicative only. Spatial accuracy is not applicable to Quality Level D. Refer to AS 5488 for further details. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans. **FURTHER ON SITE INVESTIGATION IS REQUIRED TO VALIDATE THE EXACT LOCATION OF TELSTRA PLANT PRIOR TO COMMENCING CONSTRUCTION WORK.** A plant location service is an essential part of the process to validate the exact location of Telstra assets and to ensure the assets are protected during construction works. The exact position of Telstra assets can only be validated by physically exposing them. Telstra will seek compensation for damages caused to its property and losses caused to Telstra and its customers.